

architectural design guidelines

ARCHITECTURAL

DESIGN
GUIDELINES





INTRODUCTION

These Architectural Design Guidelines are written for homesite owners and participating architects, designers and builders of the residences located within the Watermark at Bearspaw residential development ("Watermark").

The objective of the Architectural Design Guidelines is to provide a design framework for these residences. Many different architects and designers will be involved in the design process; however, the overall development should appear as a cohesive community of consistently high quality.

The text and illustrations that form the body of this document are intended to be easily read by all those participating in the design and construction process. They are not always absolute or prescriptive, and they encourage design creativity and diversity within a range of styles.

The Architectural Design Guidelines also clearly set out the expectations and requirements each owner of a homesite in Watermark (the "Applicant") must meet to gain approval to successfully build a custom home in Watermark.

All design and construction within Watermark must adhere to all national, provincial and municipal rules, regulations and bylaws, including all applicable building codes. The Applicant is required to obtain all required permits for all construction activity on his or her homesite.

If any national, provincial or municipal regulations and/or bylaws pertaining to Watermark that are in effect at the time of application for approval conflict with any statement or requirement contained in the Architectural Design Guidelines, then the most restrictive of the conflicting provisions will govern.

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1.0 ARCHITECTURAL

DESIGN

ical "English" Form

1.1 VISION

The existing character of the land and generous homesite sizes throughout Watermark encourage the creation of individual “estate-like” building forms, with each residence set into landscaping that enhances its environment and the community.

Picturesque roofscapes and a harmonious mixture of attractively designed elements such as gables, bay windows, dormers and distinctive chimneys will create variety and interest.

The siting of each home should be informal. Groups or clusters of built-form elements can wrap or enclose outdoor spaces such as courtyards and patios.

Breezeways, verandas, porches and loggia elements should be used to encourage outdoor living. Outdoor fireplaces, barbecues and fire pits can add to the ambience.

The overall impression should be one of a casual, elegant estate lifestyle. Materials should be of high quality, authentic yet natural and relaxed. The use of natural earth tones or deep rich colours is encouraged.

Applicants are to make use of best management practices to minimize potable water consumption both inside and outside the home.

1.2 ARCHITECTURAL STYLE

Four architectural styles will be preferred in Watermark: French Country, Prairie, Craftsman and English Manor. These styles are intended as design guides only. Attractive interpretations within these styles are strongly encouraged. Homes designed outside of the four preferred styles may be approved based on the merits of the design at the discretion of the Architectural Design Coordinator.

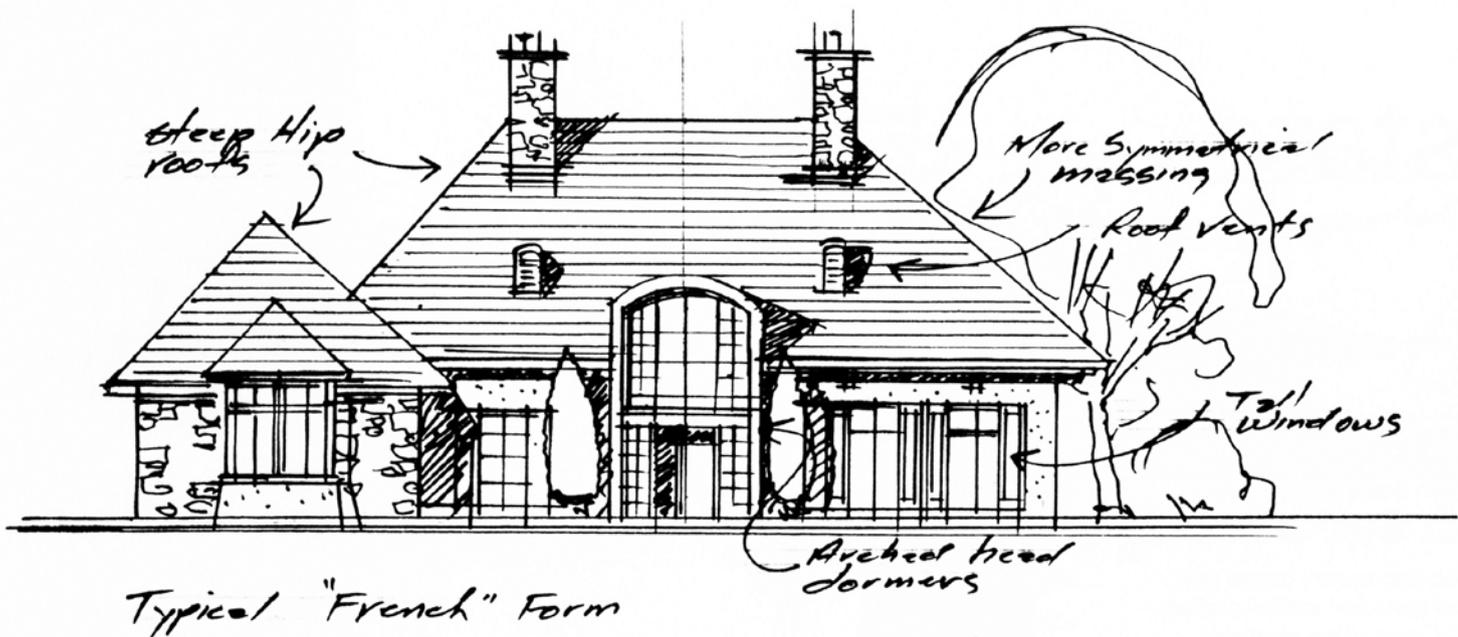
Diversity, originality and individual expression are encouraged, while still maintaining a sense of overall design unity throughout Watermark. Distinctive floor plans and elevations are necessary, and individuality between nearby homesites will be required.

Log homes are not permitted.



1.2.1 FRENCH COUNTRY

Historically, these dwellings were working rural buildings characterized by somewhat informal massing and planning. Often clustered around substantial courtyards and stable yards, they formed a picturesque impression of casual elegance and refined style.



IDENTIFYING FEATURES

- Steep pitched roofs
- Multiple front gables
- Windows often breaking the roof line
- Asymmetrical elevations
- Emphasis on front entry
- Grouped casement windows
- Stucco or masonry cladding
- Substantial barge boards
- Prominent chimneys
- Extensive uncoursed stonework
- Curved front entry roof
- Copper roof elements



Hip roof forms were common, usually at a steeper pitch, as were multiple front gables, roof dormers, distinctive chimneys and prominent entry porches. Small tower forms with subtly flared roofs would often be used to add variety, emphasis and interest to the massing. Embellishments included window shutters, roof brackets and more elaborate post and beam supports.

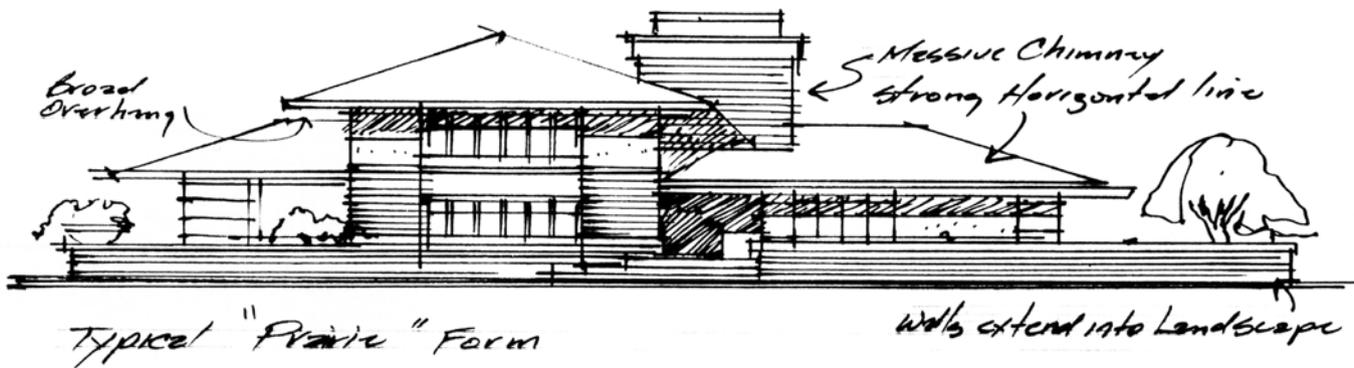
Wall materials were primarily masonry – stone or brick, sometimes with wood or stucco accents or infill. In the case of the Traditional style, painted wood was often the dominant material. Roofing was often shingle or slate.

Windows tended to be vertically proportioned, multi-paned, and often included attractive glazed bay windows and French doors. Colours were natural and subdued and dominated by natural stone or brick.



1.2.2 PRAIRIE

The Prairie style of residential design was developed by Frank Lloyd Wright, often in somewhat more urban situations, but it is particularly appropriate for the estate setting of Watermark.



IDENTIFYING FEATURES

- Low pitched roofs (usually hipped)
- Wide overhanging eaves with widths of at least 0.9 metres (3 feet)
- Two-storey with one-storey wings
- Extensive wood trim
- Veranda and porch elements
- Grouped casement windows
- Masonry base
- Broad flat chimneys
- Detail emphasizing horizontal lines
- Massive square porch supports



Prairie dwellings evolved as working country homes characterized by low, grounded built-forms and shallow pitched roofs. Smaller buildings were often grouped together in clusters with additions built over the years, giving the house a relaxed, picturesque quality.

These buildings were characterized by their extensive use of wood for exterior walls. Board and batten, horizontal siding and shingles were common wall surfaces. Verandas and porches were major elements in the composition.

Breezeways were also a common feature, used to connect different portions of the building and provide weather protection.

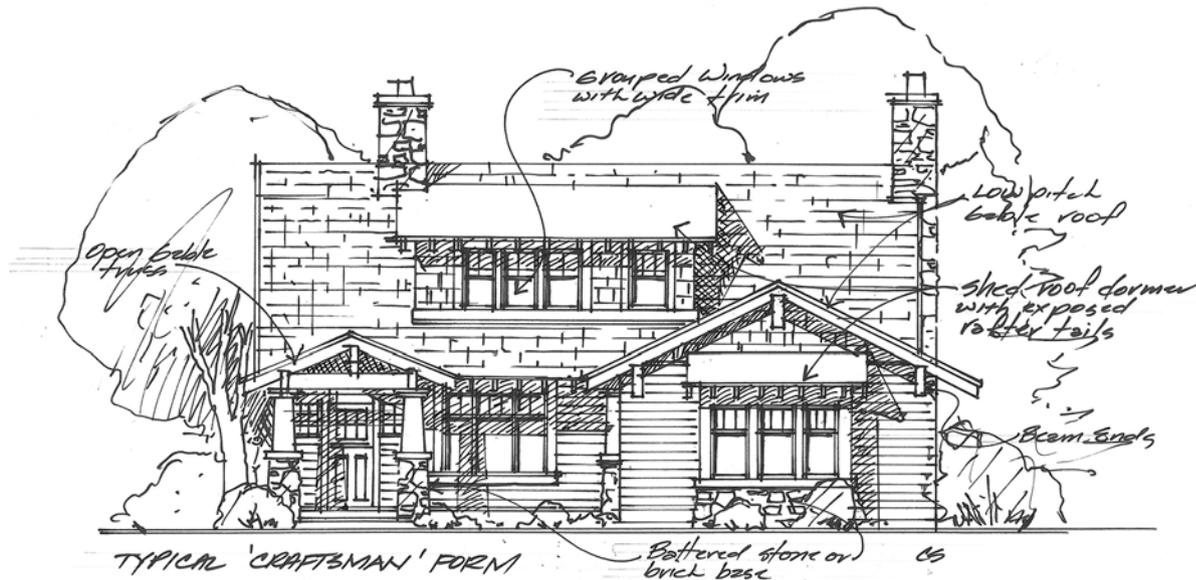
Windows were typically casement type with substantial contrasting wood trim, sometimes grouped together in bands to enhance the ground-oriented built form.

Colours varied from the lighter shades of stained or painted wood siding through weathered greys to rich earth tones.



1.2.3 CRAFTSMAN

The predominant characteristics of Craftsman style are moderate pitched roofs with second-storey dormers, covered front verandas, decorative beams or braces and the use of traditional building materials in deep rich colours.



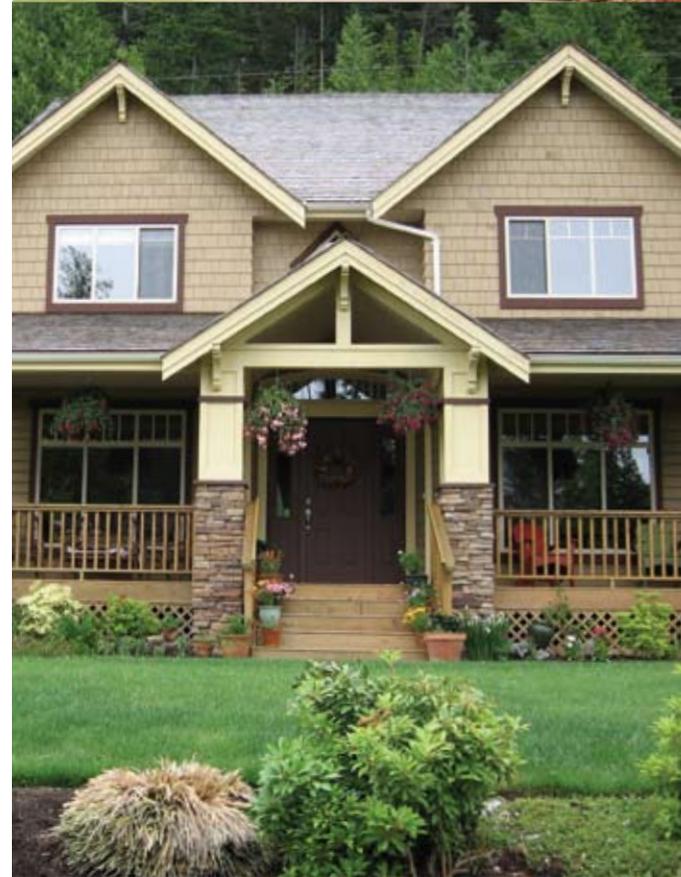
IDENTIFYING FEATURES

- A variety of wall lines and roof lines
- Thick elements such as fascia, trim and columns
- Use of stone or brick and natural materials
- A high level of architectural detailing on doors and windows
- Wood blocks and brackets
- Pergolas and trellises
- Tapered (sloped) stone base and trims
- Broad overhangs with exposed rafter tails
- Double hung or casement windows



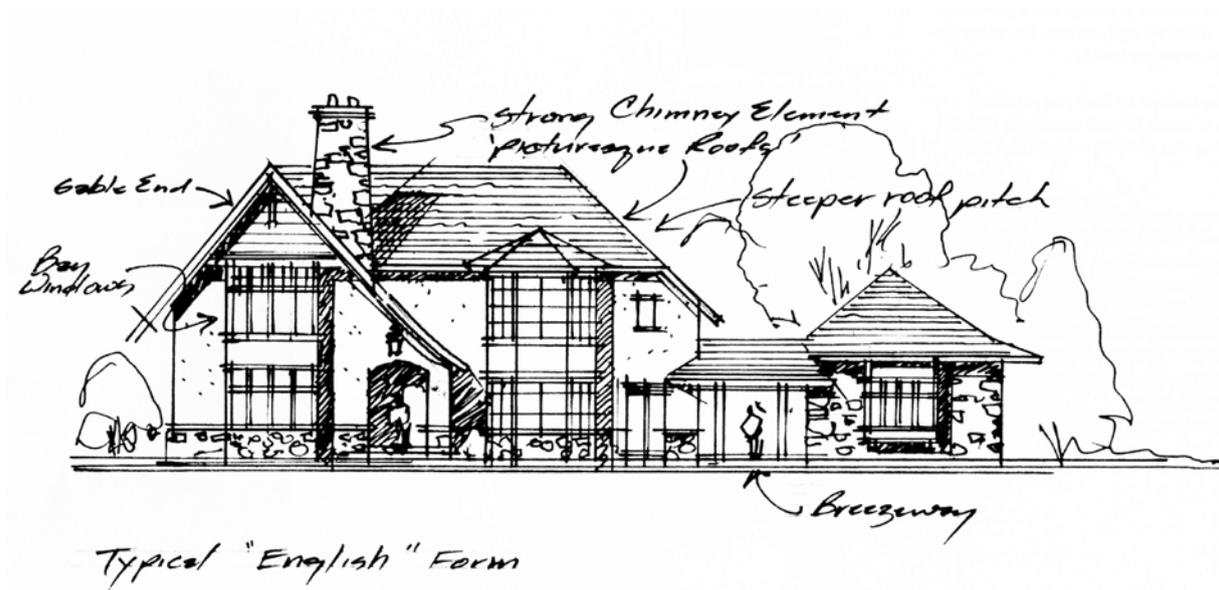
Siding and trim colours are often inspired by natural surroundings complementing the natural materials used on the home. Masonry is essential for this style and is typically used only on the base to ground the home to add a sense of stability. All columns are usually clad in masonry and extend to ground level, squared or tapered in design.

The style of this design should conform to its surroundings so massing and materials must be strongly considered. Elements like brackets, blocks, false trusses and exposed rafter tails are used to give the impression of solidity.



1.2.4 ENGLISH MANOR

The most distinctive characteristics of the English Manor style are steeply pitched hip roofs and gable roofs with decorative elements.



IDENTIFYING FEATURES

- Steep pitched roofs
- Covered arched entries
- Open gables treated with decorative louvers
- Substantial stonework
- Dominating stone-clad chimneys
- Asymmetrical one and one-half storey design
- Arched windows
- Keystone and shutter detail around windows
- Dormers with living area concealed within the roof form
- Small paned windows
- Courtyards



The English Manor style has some resemblance to the French Country style; but without the curved rooflines and curved dormers.

A good portion of the elevation is typically clad in stone. Open gables are often treated with decorative louvers and shadow boards. Gable areas are often clad in full stone.

Trims around windows and doors are simple in design and often incorporate keystones on the headers and shutters on feature windows.

The front entry is a main feature of this architectural style, visible from the fronting street. Covered arched entries are prevalent.





dormers

cm

Strong Chimney Elements
Picturesque Roofs

Steep

2.0 GENERAL

PRINCIPLES

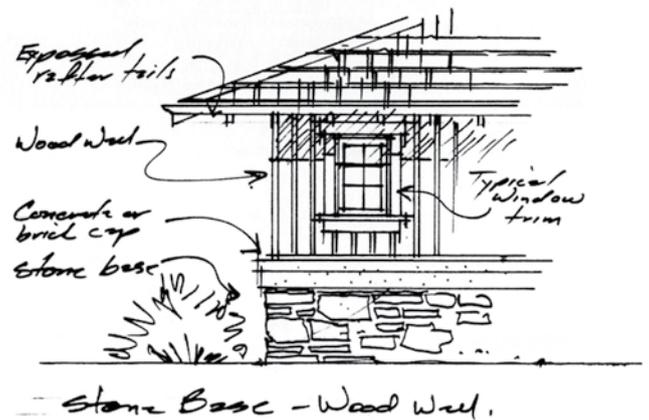
2.1 BUILDING FORM & SIZE

The primary massing of the home must be parallel to the fronting street. Full two-storey box-on-box design will not be permitted under any circumstances. All four elevations should be properly articulated, and massing should be broken up through the use of rooflines and decks.

The maximum aggregate ratio of gross building areas of the upper floor to the main floor should be 85 percent. Relaxations may be permitted at the discretion of the Architectural Design Coordinator for living areas built entirely into the roof form. Garages, whether attached or detached, will be treated as a separate structure for the purpose of calculating this ratio.

Any upper floor area that is open to below but still has full height walls will count as upper floor square footage. Three-storey uninterrupted vertical elevations will not be permitted.

Special attention must be given to the exterior side elevations of homes located on corner homesites. Two-storey homes will be permitted on corner homesites; however full two-storey elevations on the street side of corner homesites should be avoided. This can be accomplished by stepping back the upper floor living area from the main floor area and adding roof lines or verandas. These treatments will be acceptable if they are designed to complement the architectural style of the home.



The minimum permitted habitable floor area for each home, excluding the garage and basement level, is as follows:

- Bungalows: 190 square metres (2,045 square feet)
- Two-storey: 223 square metres (2,400 square feet), with a minimum of 130 square metres (1,400 square feet) on the main floor.

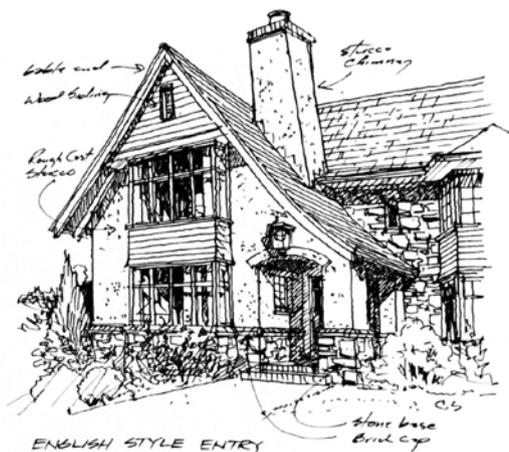
Long blank walls will not be permitted on any of the four elevations. All elevations should be designed with box-outs and offsets and should also incorporate windows and adequate trim details. Long blank walls, as may be found on triple or larger garages, must be detailed with windows and architectural trim to reduce the impression of length and height, and by stepping the structure.



FRENCH STYLE ENTRY.



CRAFTSMAN STYLE ENTRY



ENGLISH STYLE ENTRY

2.2 BUILDING HEIGHT

The maximum building height is 11 metres (36.1 feet) as measured in accordance with Rocky View County zoning bylaws and regulations. A maximum of two and one-half storeys is allowed, excluding basements. Continuous elevations of wall that include the walk-out portions of basements will not be allowed. If a third storey (excluding the basement level) is proposed, it may be built to a maximum area of 60 percent of the floor below and should be entirely contained within the volume of the sloped roof.

The highest building face of any elevation on any house must not exceed 6.7 metres (22 feet) in height, excluding eaves and the pitched roof portion of either gable ends or dormers. Elevations over 6.7 metres should have the upper floor stepped back, and roof lines should be added to break up the massing of the home.

2.3 PRIMARY ENTRY

The primary entry to the home should be defined and articulated by a roofed and well-considered porch, recessed alcove, bay, veranda or sloped roof so that it is distinctive and easily seen by day or night when viewed from the fronting roadway. The entry should provide appropriate shelter from inclement weather. This element should not be over scaled or contain elements that are visually out of place (such as two-storey columns). The primary entry foyer level should not be located more than 1.2 metres (4 feet) above the average finished grade within 3 metres (10 feet) of the entry door. If a home is proposed with a foyer higher than 1.2 metres (4 feet) above the front grade, the builder will be required to break up the steps at the front entry so that some steps will be located in the walkway. A maximum of six risers at the front entry is encouraged.

2.4 GARAGES

All homes in Watermark will require as a minimum a double garage. Garages may be designed as side-drive, front-drive or a combination of both. An effort should be made by the designer to reduce the visual impact of the garage by paying close attention to the architectural design of the street-facing elevation and the design of the garage doors. This can be accomplished for front-drive designs by bringing the front entryway of the home as far forward as possible, adding a second-storey element over the garage doors or setting the garage flush with or set back from the front face of the home.

For some homesites, especially homesites designed and graded for walk-out homes, a triple side-drive garage will be challenging to achieve and will compromise the size and design of the home's backyard. On such homesites, four-car side-drive garages will be prohibited, and triple side-drive garages will likely need to be restricted to a depth that will work with the intermediate grade points noted on the Building Grade Plan.

The side of the homesite on which the garage must be located has been pre-determined, regardless of whether a side or front-drive design is selected, and is noted on the Building Grade Plan.

Front-drive garages should project no further than 4 metres (13 feet) past the front veranda or front wall of the home. When this is not possible, extra treatment will be required on the sides of the garage walls.

Double-wide garage doors will be permitted. Garage door openings should not exceed 2.75 metres (9 feet) in height and 5.8 metres (19 feet) in width. For homes with triple garages, at least one bay must be offset at least 0.75 metres (2.5 feet) from the other bays. Four-car or larger garages may be permitted provided they are designed to soften their massing and appearance.





2.5 ROOF FORM

The roof is one of the most dominant elements of any house design, and it should be used to “anchor” the house. Thus, simple primary rooflines are required, but gables and dormer windows are also encouraged as major or minor design elements. Long rooflines are encouraged to effectively cap the residential form below and to work with the natural landforms present in the western prairie setting.

Like the massing, primary rooflines should be parallel to the fronting street. All roofs should be sloped. No roof should be sloped at greater than 14 in 12 or less than 4 in 12. Flat roofs and mansard roofs will not be permitted in Watermark.

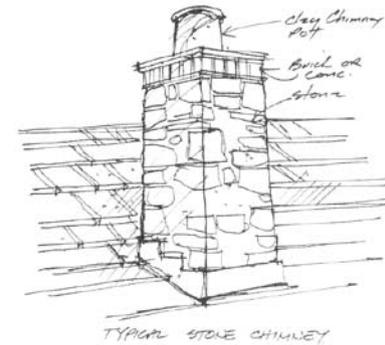
Large overhangs are encouraged for their visual qualities, as well as to provide additional protection to the walls and windows from the elements. Overhangs should suit the architectural style of the home, provided that the overhang at any eave is not less than 0.30 metres (12 inches).

Modified roof pitches may be considered based on the merits of the overall design of the home. Careful attention to the underside of sloped soffits offers opportunities for detailing such as rafter tails, together with contrasting colours and materials.

2.6 DRIVEWAY LAYOUT

Each homesite should have only one driveway; however, a second driveway may be approved at the discretion of the Architectural Design Coordinator if it is warranted due to a multiple-garage configuration. The driveway should be narrow until nearing the garage itself. To promote a natural look, totally straight runs should be avoided and topography should be utilized on sloped homesites to provide more interesting driveway alignments.

Driveways must be offset a minimum of 1 metre (3.3 feet) from the side property line to ensure drainage patterns are adequately maintained.

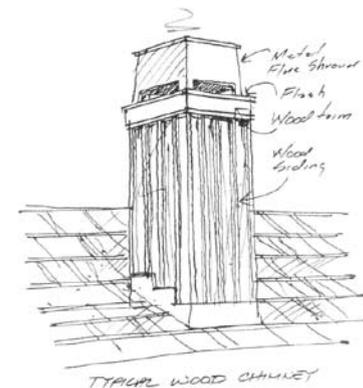
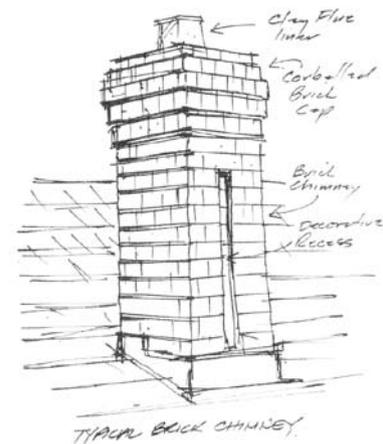


2.7 CHIMNEYS

Chimneys should be of substantial proportion and should appear strong and stable. They and their caps may be innovatively detailed and specified, but should be designed to be consistent with the overall composition. Where chimneys are attached to or are part of an exterior wall, they should extend all the way to grade.

Chimneys for fireplaces or metal vents should be finished in stone, brick or split-faced concrete block. Woodclad chimneys are permitted provided that the design of the chimney enclosure, its detailing, proportions, cladding material and colours are compatible with the architectural form and the exterior wall finishes and colours of the building itself. Metal, vinyl and unfinished concrete block chimneys are not permitted.

Direct vent fireplaces must not be visible to the street, and they should be screened to blend as imperceptibly as possible into the surrounding exterior wall finish.



2.8 WINDOW PLACEMENT

Window design and placement are very important to the overall appearance of the house and neighbourhood. Window styles and shapes should be consistent on all four elevations. Windows should be oriented vertically (that is, taller than they are wide). Large picture windows should be flanked by narrower vertical windows. Window designs must be consistent with the architectural style of the home. Proper fenestration will ensure that walls do not appear scattered and disorganized.

Window shutters are permitted when appropriate to the style of architecture. They should appear to be functional and should be proportioned to match the size of the windows.

2.9 EXPOSED ELEVATIONS

Consistency in detailing and design from the front elevation of the home to the side and rear elevations is important. All elevations must have some detailing, regardless of exposure. Elevations visible from a road, park, amenity or pathway must have more extensive detailing. Side and rear elevations on corner homesites are to be treated to the same extent as the front elevation.

2.10 EXTERIOR DECKS & PORCHES

Carefully integrated decks and balconies can enhance the design of the home and provide ideal conditions for casual walk-out space from upper floors. The location and design of these elements should be carefully considered as part of the overall composition.

Supporting columns for decks and porches are to be architecturally detailed. Columns must have a minimum dimension of 300 millimetres square (12 inches by 12 inches) and must be finished in brick or stone.

Deck designs must be shown on the drawings submitted to the Architectural Design Coordinator and must be built at the time of construction. Decks that are 0.9 metres (3 feet) or less above finished grade will not require columns but are to be screened in with the use of crezone, smart panel or an equivalent. Lattice will not be permitted.

2.11 LIGHTING

Homes in Watermark will require low-level outdoor lighting that is soft, subtle and glare-free. All lighting should cause low visual impact to both the street and neighbouring properties. Apart from soffit lights, which should be limited to entrances, exterior light fixtures should not have a light source directly visible from the street. Subtle garden and landscaping lighting is encouraged.



2.12 PATIOS & ATTACHED CONSERVATORIES

Front and/or rear patios and loggias may be incorporated to give weather protection to the house and to act as outdoor social gathering spaces.

An integrated conservatory, attractively designed and detailed as part of the overall composition of the home, may also be incorporated to provide an indoor/outdoor room for use in all but the most severe weather.

Proprietary kit sunrooms or aluminum and glass “add-on” structures, including prefabricated greenhouses, are not permitted.

2.13 INDOOR & OUTDOOR AREAS

Features that transition indoor living space to outside living space should be considered. Courtyards, terraces, decks, planted pergolas, landscaped or carefully paved courts, and stepped patios on sloping sites offer and enhance the experience of outdoor living. Trellised patios are especially effective when climbing plants are encouraged to grow over the structure.

Protected, landscaped or paved courtyards are also encouraged as these provide private transitional outdoor “room” spaces.

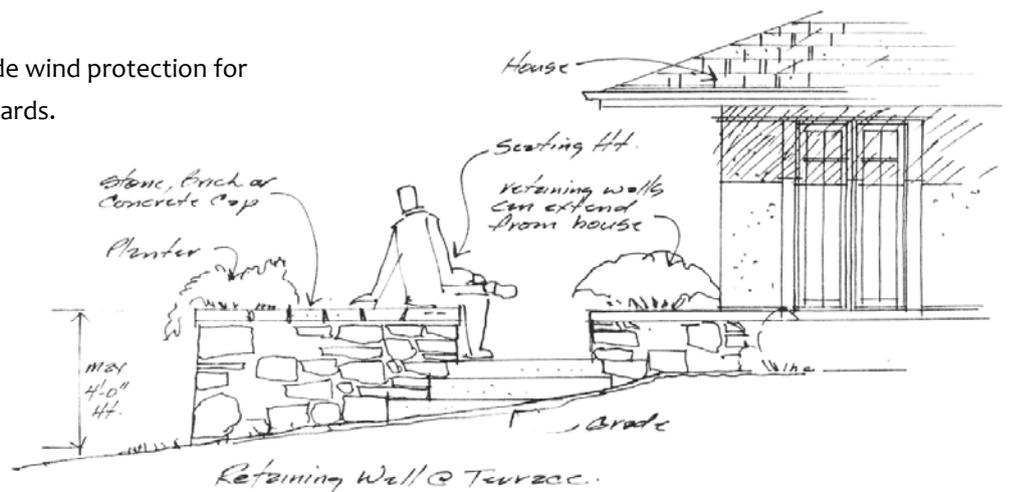
Careful massing can provide wind protection for at-grade patios and courtyards.

2.14 RETAINING WALLS

All retaining walls should be designed to complement the character of the home as part of the overall architectural composition. Retaining walls must be constructed of natural stone, segmented block or concrete clad in masonry to match or complement the exterior of the home. Wood timber or exposed unclad concrete retaining walls will not be permitted.

Retaining walls must be limited to a height of 1.2 metres (4 feet). Terracing of walls will be required where more than 1.2 metres of retention is necessary. All retaining structures must be within the Applicant’s homesite. Any series of terraced retaining walls exceeding 1.2 metres in aggregate height must be approved by a professional engineer.

Integral planters can be incorporated as a part of retaining walls. These may be designed to be planted with trees or decorative or trailing plants to soften their appearance.



The background is a light-colored architectural sketch of a house. It features a prominent hip roof with a central dormer window. The sketch is rendered in a simple, hand-drawn style with visible lines for the roof, walls, and windows. The overall tone is a soft, muted green.

3.0 BUILDING MATERIALS

& DESIGN ELEMENTS

1 "French" Form

Arch
Dorm

strong Chimney

When selecting the building materials for new homes in Watermark, the intention should be to create a sense of permanence and compatibility with the development. The use of locally available natural materials is strongly recommended.

3.1 PRIMARY WALL MATERIALS

Primary wall materials in Watermark will consist of:

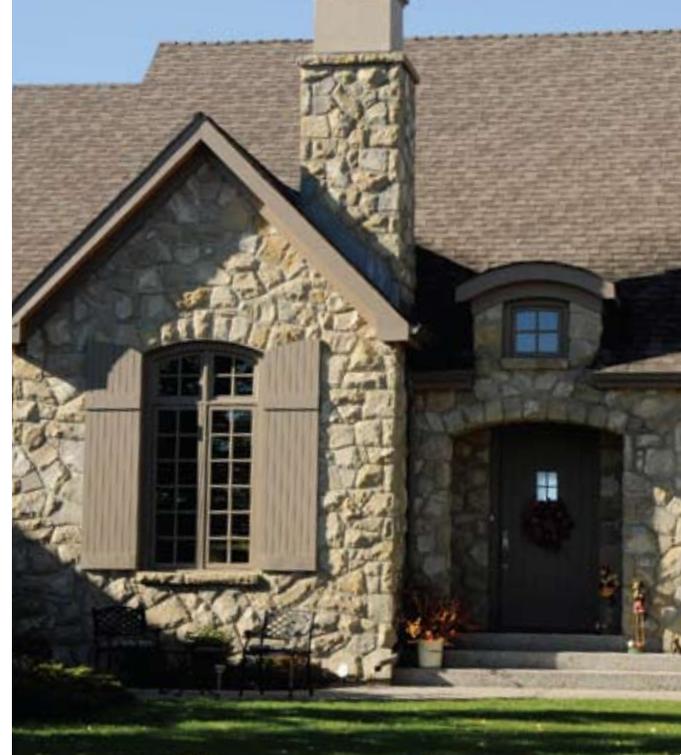
- Natural stone or brick
- Artificial stone, as described in Section 3.2
- Composite siding
- Composite or wood shakes
- Composite or wood board and batten
- Acrylic stucco with a smooth finish.

VINYL SIDING AND CONVENTIONAL KNOCKDOWN STUCCO WILL NOT BE PERMITTED

Where stucco is used as an exterior finish, horizontal control joints must be installed at the transition between floors to absorb shrinkage and movement of the building. These joints should be articulated by the use of reveals or trim boards. Vertical control joints should conform to the specification standards manual of the wall and ceiling industry.

Secondary wall materials and colours (accents) are strongly encouraged and may consist of horizontal and vertical siding, board and batten, smart panel, cedar or composite shakes.

The use of natural earth tones or deep rich colours will add to the ambience. Bright colours should be avoided. Wall colours and materials should match the style of the home. Before submitting colours for approval, each Applicant should review adjacent house colours to avoid repetition.





3.2 MASONRY

A masonry base is required on the front and rear elevations on all homes in Watermark and must be used in portions reflecting structural integrity and the chosen architectural style. There will be no minimum amount of stone or brick required, but the placement of the material must ground the home and act as a structural element. The use of natural stone or brick is highly encouraged. Artificial stone will be permitted; however, the following styles of artificial stone, among others, are not permitted:

- Ashlar
- Beach Rock
- Broken Top
- Castle Stone
- Coastal Reef & Ledge
- Coral Stone
- Creek Cobble
- Field Stone and Dressed Field Stone
- River Rock
- Rockface
- Rough Cut
- Split Face
- Stream Stone
- Top Rock
- Water Wash
- Vintage Manor.

Masonry colours must complement the cladding material and colour. Masonry is to be a minimum of 0.75 metres (2.5 feet) in height with a minimum return of 1.2 metres (4 feet). The face of the masonry base should extend a minimum of 75 millimetres (3 inches) proud of the wall above. Stone caps are highly encouraged.

3.3 TRIM, FASCIA & SOFFITS

Modern trim materials used in a traditional manner will help the homes in Watermark appear traditional and timeless. Designers should pay special attention to the detailing of the trim.

- Window and door trim should be utilized on all four elevations and should be a minimum of 100 millimetres (4 inches) in width. If windows have a 90 millimetres (3.5 inch) brick mould as a minimum, no further trim will be required.
- Trim material can be wood, composite or other synthetic materials designed, constructed and finished to readily appear from a distance to be wood or masonry. Raised acrylic stucco battens with a smooth finish will be acceptable.
- Trim used on a stone wall must sit at least 13 millimetres (0.5 inches) proud of the stone.
- All corner boards are to be a minimum of 100 millimetres (4 inches) in width when using composite siding. Corner boards are suggested, but not required, when using stucco as a wall finish.
- Shadow boards or cornices should be used in all open gable ends where the wall meets the soffit on all elevations.
- Fascia on open gables or fascia not covered by eaves is to be constructed using wood or a composite material. All other fascia may be aluminum. All fascia must be a minimum of 0.2 metres (8 inches) in height.

- Soffits over high-use areas and open gables are encouraged to be constructed of wood or a composite material. All other soffits may be aluminum. Horizontal soffits are discouraged.
- Soffits should match or complement the approved trim colour.
- Rainware should be limited on exposed elevations. Downspouts should be located on side and rear elevations of homes if reasonably possible. Rainware should match the colour of the soffits and fascia used on the home.

3.4 WINDOWS

- Casement, double-hung and single-hung are appropriate window types and may be incorporated with nonfunctional windows to create more elaborate window designs.
- Multi-paned windows are encouraged. Where mullions are used, they should be simulated or true divided lights. Decorative grilles or dividers sandwiched between glass panes are not acceptable.
- Large windows should be designed to be compatible with the form and character of smaller, multi-paned windows.
- Windows are to be metal-clad or wood. Vinyl windows will not be permitted.
- Skylights, if used, should match the roofing colour and have a flat profile. Skylights should be incorporated on the rear elevation of the home and should not be visible from the street.

3.5 ROOFING

Premium architectural asphalt shingles with at least a 40-year guarantee will be required as a minimum. Composite products, concrete tile in the slate profile with a dark colour, and small amounts of standing seam metal roofing will also be permitted. Other materials such as aluminum interlocking shingles may be approved at the Architectural Design Coordinator's discretion. Wood shakes, large portions of standing seam metal roofing and Mediterranean profile tiles will not be permitted.

3.6 ROOF HARDWARE & SOLAR PANELS

All roof hardware (vents, stacks, flashing, rainwater leaders, etc.) must be finished to match the colour of the backing roof or wall surface. Stacks must be enclosed and/or finished to complement the roof colour and exterior finish detail.

Solar panels may be approved for use in Watermark provided they are sensitively designed with regard to their appearance from neighbouring streets.

3.7 ENTRY DOORS

- Front entry doors, in single or double style, are to complement the architectural style of the home and are to readily appear to be of wood construction.
- Entry doors should have glazing and/or sidelights and/or transom windows. Full height sidelights and full width transom windows are strongly encouraged, so as to provide daylight within the entry foyers.

- Patio doors are to be double "French" doors where possible, but sliding glass doors are acceptable in less prominent locations.

3.8 GARAGE DOORS

- All garage doors must be a traditional carriage or renaissance style with vertically proportioned panels and raised trim so that they readily appear to be of wood construction.
- Additional space above the garage door to the eave line that is greater than 0.6 metres (2 feet) is to be justified and treated with an architectural feature.
- Glazing may be added to the uppermost 0.6 metres (2 feet) of the garage door.

3.9 RAILINGS

Railings will be required as per the Alberta Building Code. Front porches and rear decks should have railings in a style to match the architectural theme. Acceptable railing materials include (depending on architectural theme):

- Wrought iron / aluminum
- Wood (painted or stained)
- Glass (rear yards only)

3.10 DRIVEWAYS

Exposed aggregate or stamped concrete driveways will be required as a minimum. Driveways detailed with borders or inset patterns utilizing exposed aggregate or patterned concrete are encouraged. Where used, borders should be at least 0.45 metres (18 inches) wide.

Asphalt driveways are not permitted.

The finished driveway and garage apron surfacing on the homesite must be completed before either the first October 31st date after an occupancy permit is granted for the home or – only if such occupancy permit is issued subsequent to August 15th – by June 30th of the following year.

3.11 FRONT STEPS

Front steps, when constructed of concrete, should match the finish of the driveway and should be finished in a decorative manner such as exposed aggregate. Cedar may be used as an alternative to concrete, provided it matches the architectural theme of the home.

- Cedar risers must be closed in.
- Cedar is encouraged to be stained with a wood sealer.

3.12 PERIMETER DRAINAGE

All homes and garage structures must have a properly designed perimeter stormwater drainage system, which is to be tied into Watermark's stormwater system.





4.0 SITING &

GRADING

4.1 HOUSE PLACEMENT

Every homesite in Watermark will have its own characteristics with regards to size, site elevations and location within the overall development. Consideration of existing conditions as well as the permitted building envelope (as described in Section 7.2) should dictate the design, layout and siting of each home.

Building forms on each homesite should take into consideration both existing and potential future development on adjacent homesites, with respect to privacy, sunlight, views and relationship to such adjacent homes.

4.2 HOMESITE GRADING

Homesite grading must follow the slope of the land and must conform to the Building Grade Plan prepared by the Developer's engineering consultant. Applicants should give due consideration to homesite grades when determining architectural style to ensure an appropriate design. Homesite slopes should be absorbed within the building massing as much as possible. Each applicant should also pay close

attention to drainage patterns created on the homesite to ensure surface water is channelled away from the house on all sides and into adjacent drainage swales and stormwater collection systems. Stormwater must not be directed into neighbouring homesites, other than into drainage swales designed for this purpose by Watermark.

Applicants must ensure that all of the corner and intermediate elevations, as established by Watermark, are maintained as specified. Yard slopes should be graded to a maximum of 3:1. Steeper grades will require retaining walls.

Under no circumstances should the grades of a homesite's building envelope be artificially raised for any reason, such as to create improved mountain views or to create a walk-out home on a homesite that has not been designed as such.

Walk-up basements may be permitted in certain circumstances in rear yards only. Homesites with rear grades at higher elevations than front grades will not be permitted to construct walk-up basements. Walk-up wells should not be visible from a neighbouring street.



Arched head
dormers

Arched head
dormers

Chimney Element
'one Roof'

Steeper roof pitch

5.0 LANDSCAPE

GUIDELINES

Breezeway



Implementation of the landscape guidelines will ensure that the quality and experience of Watermark carries into each homesite, helping to create an appropriate landscape transition from each yard to adjacent homesites and parkland areas.

The landscape design of each homesite constitutes an integral part of the overall attractiveness of the community. Each Applicant must landscape his or her homesite to a certain minimum standard of quality, as determined by the Landscape Design Coordinator based upon an assessment of plant quantities and maturities, integrity and the style of design of the yard. The following guidelines are not intended to control personal expression or limit design creativity.

Watermark promotes sustainable landscaping and irrigation choices in an effort to protect our natural resources.

5.1 MAINTENANCE

Landscape maintenance is a shared responsibility between the Applicant and the Watermark Homeowners' Association (the "HOA"). The HOA will have the responsibility to fully maintain, other than irrigation, all grassed areas of the front yards of all homesites. The Applicant will have the responsibility to fully maintain all other components of his or her yard.

All yard maintenance that is the responsibility of the Applicant must be completed to a superior standard in keeping with standards typically required in high-quality residential communities and consistent with those areas maintained by the HOA. In the event the Applicant does not maintain his or her landscaping to a standard acceptable to the HOA, the HOA will have the right, in its sole discretion, to impose a special assessment against the Applicant. The HOA may also decide, in its sole discretion, to take over from time to time, at the Applicant's expense, additional yard maintenance work that is not being carried out by the Applicant to the satisfaction of the HOA.



5.2 PLANT MATERIAL

The landscape plan for each homesite should incorporate very generous plantings of trees and shrubs, both coniferous and deciduous, in attractive groupings. Plantings designed in less conventional ways incorporating large rocks, small brick or rock walls, water features and exterior low-level lighting are encouraged. Large expanses of lawn uninterrupted by plantings will not be acceptable. Shrub and tree species selected should generally be native to this region of Alberta.

To create a more cohesive look to all front yards, the Landscape Design Coordinator may choose to specify the front lawn planting species and methods.

All dying or dead plant materials must be replaced on an ongoing and priority basis by the Applicant with appropriately sized trees, shrubs and groundcover.

All landscape plans should have the following minimum plant sizes. At least 60 percent of all shrubs and 60 percent of all trees should be coniferous varieties:

- **Shrubs.** At least 50 percent of all shrubs (and 100 percent of all coniferous shrubs) should be a minimum size of 5 gallons (#5 pot). The remainder of all shrubs should be a minimum size of 2 gallons (#2 pot).
- **Coniferous Trees.** At least 25 percent of all coniferous trees should be a minimum height of 4 metres (13 feet), and at least a further 40 percent should be a minimum height of 3 metres (10 feet). The remainder of all coniferous trees should be a minimum height of 2 metres (6.5 feet).
- **Deciduous Trees.** At least 25 percent of all deciduous trees should be a minimum calliper size of 10 centimetres (4 inches), and at least a further 40 percent should be a minimum calliper size of 8 centimetres (3.15 inches). The remainder of all deciduous trees should be a minimum calliper size of 5 centimetres (2 inches).

The Applicant is required to provide a minimum number of trees as indicated in the chart below, based on a homesite configuration roughly rectangular in shape. The Landscape Design Coordinator may allow a reduction in these minimum quantities for the front yards of pie-shaped homesites.

MINIMUM TREE PLANTING REQUIREMENTS

HOMESITE SIZE	FRONT YARD	REAR & SIDE YARDS	TOTAL PER HOMESITE
Over 0.40 hectares (0.99 acres)	20	20	40
0.35 to 0.40 hectares (0.865 to 0.99 acres)	18	18	36
0.30 to 0.35 hectares (0.74 to 0.865 acres)	16	16	32
0.25 to 0.30 hectares (0.62 to 0.74 acres)	14	14	28
0.20 to 0.25 hectares (0.495 to 0.62 acres)	12	12	24
0.15 to 0.20 hectares (0.37 to 0.495 acres)	10	10	20
Less than 0.15 hectares (0.37 acres)	8	8	16

5.3 OPEN SPACE INTERFACE

To protect the naturalized landscape in Watermark's parkland areas, a 1.5 metre (5 foot) minimum width landscape buffer is required along the back property line of all homesites adjacent to these open spaces. The landscape buffer can consist of manicured tree and shrub beds or native planting beds and native grasses. Conventional lawn is not allowed in the landscape buffer.

Applicants will not be permitted to maintain, mow or manicure any of the naturalized plantings located in any parkland areas, which are the responsibility of the HOA and/or the municipality.

5.4 LANDSCAPE COMPLETION

All landscaping must be completed within one year of completion of the exterior of the home.

Notwithstanding the foregoing, if an Applicant does not commence construction of a house within six months after the closing of the homesite purchase, he or she will be required to hydroseed all disturbed portions of the homesite and take appropriate weed control measures.

5.5 IRRIGATION SYSTEMS

Each Applicant is required to install an underground irrigation system in the front yard of the homesite as a minimum. Homesites that have back or side yards adjacent to parkland areas or roadways are additionally required to install irrigation systems in these areas visible to the public. Applicants are required to install and utilize cisterns, rain barrels and/or other stormwater collection methods to augment the supply of water available for yard irrigation.



5.6 FENCING

Homesite fencing will be permitted along back and side property lines but not along front property lines. The fencing type must be identical to the existing fencing within Watermark – Iron Eagle metal fence model 2170CF, high gloss black colour, with partial diamond motif, ball post-caps and model 1E-1 finials on all picket tops. In the event of discontinuation of this model of fence at any time in the future, the Landscape Design Coordinator will select a suitable replacement model. The height of the fencing must be 1.5 metres (5 feet).

Other allowable fencing includes only that required for a dog run or around a swimming pool.

The Developer will be installing the above specified style of fence, at a 1.5 metre (5 foot) or a 1.2 metre (4 foot) height, depending on location, just inside the rear and/or side property lines of a number of the homesites within Watermark. Each rear yard homesite fence will contain a gate for ease of access to the adjoining parkland. Each Applicant will not be permitted to disturb his or her portion of the fence. A permanent easement agreement will be registered against each title in favour of the Watermark Homeowners' Association, which will have full responsibility to maintain all such Developer-installed fencing on an ongoing basis.

5.7 DOG RUNS

Fencing for dog runs may be installed by the Applicant provided the following specifications are met:

- The location of the dog run must consider the present or future adjacent neighbours' outdoor living environment.
- The fence material is to be black chain link to a maximum height of 1.5 metres (5 feet).
- Dog runs should be positioned behind the garage to screen the dog run from the street.
- Dog runs should be positioned a minimum of 1.5 metres (5 feet) from the side property line and should not extend past the rear of the house foundation.
- The entire periphery of the dog run area must be well screened with coniferous trees and shrubbery. No other screening material will be acceptable.

Dog houses, which are discouraged, must be located in the rear yard of a homesite or within a dog run, using the same exterior finishes as the home.

5.8 CLOTHESLINES

Exterior clotheslines are not permitted.

5.9 SPORTS COURTS

Sports courts may be constructed in backyards only. A sports court should not consume a major portion of the rear yard area unless screened with extensive landscaping.

Any sports court lighting is to be located and shielded appropriately from adjacent homes.

The fence material, if required, is to be black chain link to a maximum height of 2 metres (6.6 feet).

5.10 SWIMMING POOLS

Swimming pools may be constructed subject to the following and all applicable governmental rules and regulations:

- Pool designs and any related plans must be prepared by a fully qualified contractor or consultant and may need to be approved by a geotechnical engineer.
- The Applicant is responsible for any required utility upgrades.
- The Applicant must provide a letter to the Watermark HOA indemnifying the HOA against all liabilities.
- All pool-related storage must be accommodated inside the home or an approved accessory building.

5.11 ENTRANCE / ADDRESS MONUMENTS

Entrance or address monuments are not required but are encouraged. The form and design of entrance or address monuments should be of a very high quality. Such monuments should be constructed of the same or complementary materials as the home.

5.12 CONCRETE DRAINAGE SWALES

All concrete drainage swales located on a homesite within a drainage easement are to be kept free of blockage and debris. This will be the sole responsibility of the Applicant.



6.0 ADDITIONAL

REQUIREMENTS

Typical "French" Form



6.1 METERS, PANELS & AIR CONDITIONING UNITS

Meters, panels and air conditioning units must be clearly identified on the design drawings and should be located on the side elevation in a location not visible from the street. Where this is not possible, the use of an architectural feature and/or landscaping is required to ensure that they are hidden from view to the extent reasonably possible.

6.2 RECREATIONAL & COMMERCIAL VEHICLES/EQUIPMENT

Recreational vehicles including, but not limited to, travel/camper trailers, all-terrain vehicles, buses, trucks exceeding 8 metres (26 feet) in length, boats, other watercraft, snowmobiles, utility/boat/vehicle trailers, badly damaged automobiles and other unsightly objects are not to be parked/stored outdoors other than to load or unload.

Notwithstanding the above, recreational vehicles, travel/camper vehicles and other such vehicles driven by visitors to the Applicant's home may be parked outdoors on a short-term basis.

6.3 SATELLITE DISHES

Satellite dishes are allowed provided a dish does not exceed 0.6 metres (24 inches) in diameter and is concealed from view.

6.4 ACCESSORY BUILDINGS

Up to two accessory buildings will be permitted in each homesite's rear yard. They must follow all of the regulations of the Watermark Land Use Bylaw. All accessory buildings must be designed to match the look of the home, using the same exterior building materials.

6.5 SIGNAGE

No permanent signage other than entrance/address monument signage is permitted on a homesite. Temporary signs including, but not limited to, those identifying parties involved in the design and construction of the home as well as "for sale" signs, must conform to the Watermark detailed sign specifications, which are available upon request. Such temporary signs are permitted to face the homesite's access road only and are not permitted to directly face any parkland area.

No signs whatsoever are allowed on any homesite prior to the Applicant receiving title to the homesite.



6.6 BUILDING COMMITMENT

All homesites within Watermark are subject to a building commencement requirement. If construction on a homesite, regardless of its ownership, has not commenced in a bona fide and expeditious manner prior to 18 months following the first date of transfer of title from the Developer to the original purchaser pursuant to the Developer's Offer to Purchase and Agreement, then the Developer will have the right to impose a penalty, payable to the Developer, of \$400 per day either for each day after the required commencement date that construction has not fully commenced in a bona fide manner or for each day constituting an inordinate work slowdown or stoppage during the construction process. The Developer's decision in this regard will be fully binding on the Applicant.

6.7 GARBAGE

Except on garbage collection days or the night prior, all garbage cans must be contained within a roofed and fully screened enclosure that is integrated into the home. This enclosure should be visually unobtrusive and may be located only as a part of the side or rear faces of the home or garage element, or as part of a garage or an accessory building. Alternatively, garbage cans could be stored directly within the garage or an accessory building.

6.8 UTILITY LINES

All electrical, telephone and cable television wiring within each homesite must be buried underground.

6.9 HOMEOWNERS' ASSOCIATION

All homesites will be registered as part of the Watermark HOA and, as such, all Applicants will be obligated to pay the monthly HOA fees as well as to abide by all HOA rules, regulations and bylaws in effect from time to time.



7.0 ZONING & OTHER

REGULATIONS

More Symmetrical
massing

Root Vents

Tall
Windows

cheek head
corners

Chimney Element
Roofs

All homes in Watermark will be subject to the Rocky View County Direct Control Bylaw C-6854-2009. Copies have been provided within the Watermark Property Owners' Information Handbook and are available upon request.

7.1 MINIMUM & MAXIMUM REQUIREMENTS

7.1.1 Maximum Number of Houses per Homesite:

- 1

7.1.2 Maximum Number of Accessory Buildings per Homesite:

- 2

7.1.3 Maximum Building Heights:

- Principal Building: 11.0 metres (36.1 feet)
- Accessory Buildings: 5.5 metres (18 feet)

7.1.4 Maximum Site Coverage (all buildings):

- 40%

7.1.5 Maximum Habitable Floor Area Ratio for each house:

- 50%

7.2 BUILDING ENVELOPE

To ensure a consistency of building location across homesites and to ensure ample spacing between all homes, a building envelope for each homesite has been created and will be registered against title. The specific building envelope for each homesite is shown on the Lot Plan attached as a schedule to each Offer to Purchase and Agreement. All major enclosed improvements on each homesite must be designed within this building envelope, including the main structure, garage, porches and enclosed or covered patios. The Architectural Design Coordinator may request that a proposed home siting be repositioned within the building envelope if deemed beneficial.

Swimming pools, sports courts, accessory buildings, unenclosed decks, terraces and patios, and building eaves are not required to be located within each homesite's building envelope. Unenclosed decks are permitted to project a maximum of 3.5 metres (11.5 feet) outside of the rear yard building envelope line.

7.3 PROHIBITED LAND USES

Notwithstanding such uses as may be permitted under the zoning bylaws and regulations of Rocky View County applicable to Watermark including the Direct Control Bylaw C-6854-2009, none of the following uses, among others, are permitted on a homesite:

- Mobile homes, recreational vehicles and trailers (including "fifth wheel" trailers) maintained or occupied as a residence
- The boarding of animals and the keeping of any livestock or poultry
- Any home-based businesses that are automotive, sawmill, millwork or heavy machinery-related or create disturbances with regard to unsightly items, noise, odour or dust/dirt
- Any animal breeding-related business of any size
- Bed and breakfast facilities, childcare facilities, medical practices and hobby kennels.



8.0 APPROVAL

PROCESS

Typical "French" Form

strong
picturesque

8.1 PRELIMINARY REVIEW

A preliminary architectural review will be required to ensure that the initial design is compliant with the Architectural Design Guidelines. Designers are strongly encouraged to create preliminary renderings or sketches of home plans and elevations and submit them to the Architectural Design Coordinator for initial comments before commencing any detailed design work. Two or three submissions may be required before the requisite comfort level is achieved; such that the detailed design work on a particular home should be undertaken.

Once an Applicant has received a preliminary approval of his or her plans from the Architectural Design Coordinator, work on final drawings for design submission may begin.

8.2 BUILDING APPLICATION SUBMISSION

Once the detailed home design plans have been completed, Applicants will be required to have such plans submitted to the Architectural Design Coordinator for architectural review and confirmation of compliance with the Architectural Design Guidelines. Once full Architectural Design Coordinator approval is obtained, the Applicant will be permitted to apply to Rocky View County for a house building permit.

To allow a full review by the Architectural Design Coordinator of the Applicant's house plans, the following information will need to be submitted digitally via www.archcontrol.com:

- Current certificate of title for the homesite
- Site Plan (1:200 scale) showing the following:
 - Homesite (lot) plan
 - Building envelope
 - Setbacks
 - Homesite coverage, house area and house height measurements relative to allowed limits
 - Easement and utility rights of way
 - Property and house corner grades
- Construction Drawings (1/4"=1' or 3/16"=1') and specifications
- Exterior material and colour selections (a colour board may be required)
- Full Applicant and consulting team contact information.



8.3 LANDSCAPING APPLICATION SUBMISSION/APPROVAL

Detailed landscape plans, once completed, are to be submitted to the Landscape Design Coordinator for review and approval. Landscape plans are not required to be submitted in conjunction with house plans but must be submitted with approval received prior to any landscaping work commencing.

The Applicant is required to submit digital plans via www.archcontrol.com or three full paper sets of the proposed landscape plans to the Landscape Design Coordinator including the following information:

- Plans drawn at a metric scale of 1:200, using a copy of the real property survey report or a homesite plan. Property lines, existing elevations at property corners, utility and easement locations must be indicated.
- A grading and drainage plan showing existing and proposed grades, drainage patterns, berms and the driveway. Detail must include all accessory structures indicating site location, material proposed and dimensions, such as patios, retaining walls, entryway monument, pergola, swimming pool, arbour, privacy screens, fire pit, etc.
- A planting plan identifying location, size and species of all proposed trees and shrubs, location of all proposed planting beds, edging material, sodded (manicured) areas and seeded (native) areas.

- Full Applicant and consulting team contact information.

Approval of the landscape plans will also be determined by success in achieving the following objectives:

- Extensiveness of landscape treatments
- Low water use landscape design
- Framing of views to the open space and amenity areas
- Screening of adjacent private areas
- Framing of architectural elements related to the house façade.

Following submission of the landscape plans, the Landscape Design Coordinator will review and comment. If the plans do not meet the Architectural Design Guidelines or if more information is required, the Applicant will be asked to submit further details. Once the landscape plans are completed and meet all requirements, they will be stamped as “Approved” and returned to the Applicant, allowing construction to be commenced.

8.4 BUILDING GRADE SLIP

A final Building Grade Slip will be supplied to the Applicant by the Architectural Design Coordinator once the home is fully approved and all security deposits have been paid. The Building Grade Slip is required by Rocky View County for the building permit application.



8.5 SECURITY DEPOSIT

To help ensure that each Applicant's home and yard are constructed in conformity with the approved plans and that the Architectural Design Guidelines have been fully adhered to, a security deposit is required from the Applicant (the "Security Deposit").

The Security Deposit for the home and the landscaping, in such amount as established from time to time by the Developer, must be paid in full by each Applicant to the Developer after the Applicant receives preliminary plan approval from the Architectural Design Coordinator and prior to the submission of final construction drawings and specifications for the Applicant's home. The Security Deposit will be forfeited to the Developer in whole or in part (in an amount as determined by the Developer in its sole discretion) as partial or full compensation for any default by the Applicant in his or her compliance with the Architectural Design Guidelines, and in his or her payment of additional billings from the Architectural Design Coordinator or Landscape Design Coordinator pursuant to Sections 8.7 and 8.8. Any construction, exterior alterations or landscaping that takes place without approval or contrary to the approved plans or the Architectural Design Guidelines are subject to change or removal at the Applicant's expense.

8.6 BUILDING PERMIT APPROVAL

All drawings required for a building permit submission must display the Architectural Design Coordinator's stamp of approval prior to being submitted to Rocky View County. The Architectural Design Coordinator's approval of a house design does not in any way imply that approval by Rocky View County of the building permit application for such house will be obtained.

8.7 FINAL INSPECTIONS

Upon completion of the home, the Applicant is to notify the Architectural Design Coordinator that the home is ready for a final inspection. The Architectural Design Coordinator will visit the site and inspect the home to ensure that the home has adhered to the approved plans and the Architectural Design Guidelines.

In addition to the required inspection by the Architectural Design Coordinator, each Applicant will need to contact Rocky View County to arrange for a final building inspection in order to receive an occupancy permit.

Upon completion of the landscaping, the Applicant is to notify the Landscape Design Coordinator that the landscaping is ready for a final inspection. The Landscape Design Coordinator will visit the site to inspect the final landscaping to ensure that all aspects adhere to the approved landscape plans and the Architectural Design Guidelines.

Upon receipt of written notice from both the Architectural Design Coordinator and the Landscape Design Coordinator that both the home and landscaping adhere to the approved plans and the Architectural Design Guidelines, the Developer will return the Security Deposit to the Applicant, in full (if the Applicant has fully complied as set out above) or in part (if a partial forfeiture of the Security Deposit to the Developer is appropriate, as determined by the Developer in its sole discretion, for some measure of non-compliance), together with the interest on the principal amount of the Security Deposit earned thereon while held on deposit.

For more serious transgressions, the entire amount of the Security Deposit may be forfeited to the Developer. In addition, further costs may be assessed and charged to the Applicant by the Developer if it determines in its sole discretion that forfeiture of the total Security Deposit amount is insufficient compensation for such transgressions.

8.8 ADDITIONAL FEES

The following fees will be applicable to the process of design approvals, change requests and consultations:

- The Architectural Approval, Landscaping Approval and all required inspections for each homesite will be paid for by the Developer, provided that the Applicant has diligently followed the intent of and complied with the provisions set out in the Architectural Design Guidelines.
- Notwithstanding the foregoing, in the event that for whatever reason additional time is required beyond the standard amount of time, being approximately 10 man-hours, allocated by the Architectural Design Coordinator and Landscape Design Coordinator to review, inspect and provide final approval of the Applicant's plans and completed construction, such additional time will be charged directly to the Applicant at the Architectural Design Coordinator's and Landscape Design Coordinator's standard charge-out rates plus disbursements as established by them and in effect from time to time. Current charge-out

rates are available from the Architectural Design Coordinator and Landscape Design Coordinator upon request. Any such additional charges will be payable by the Applicant directly to the Architectural Design Coordinator and Landscape Design Coordinator.

8.9 BREACH OF GUIDELINES

In the event of any breach by an Applicant of any one or more of the Architectural Design Guidelines, and the Applicant's refusal to remedy such breach, the Developer will have the right but not the obligation to enter upon such affected homesite and to cure, at the expense of such Applicant, any such breach. Such Applicant will reimburse the Developer forthwith upon demand all costs incurred by the Developer in curing such breach, and such costs will constitute a charge upon such Applicant's homesite and/or be deducted from the Applicant's Security Deposit, to the extent available, at the Developer's sole discretion.





9.0 CONSTRUCTION

REGULATIONS

9.1 RESPONSIBILITY

- Applicants are fully responsible for any damages and costs of rectification due to non-compliance with any rules and regulations contained within these Architectural Design Guidelines, or with any municipal rules, regulations or bylaws, by any tradespeople or other persons working on their homesites. Applicants as well as all such tradespeople and other persons may collectively be referred to in this Section 9 as “Builders”.
- Such Applicant responsibility extends to the repair of any damage to any neighbouring homesite or common property (such as, but not limited to, sidewalks, curbs, roadways, asphalt trails, lamp standards, services, landscaping or any other items located on or in close proximity to the Applicant’s homesite), without any requirement whatsoever by the Developer to prove fault by the Applicant or his or her Builders.
- Repair of damage or correction of deficiencies by the Applicant must be carried out in a timely manner.
- Moreover, the Developer reserves the right to rectify any such deficiencies and damages at the expense of the Applicant deemed responsible by the Developer (and paid for, if chosen by the Developer, from the Applicant’s Security Deposit) should such Applicant not arrange and pay for the cost of repairing damages that have occurred on or in close proximity to the Applicant’s homesite.

9.2 CONSTRUCTION RULES

- Builders will be allowed to neatly store their materials and equipment on site in an organized manner during construction but may not store any items on any other homesites or common property.
- Construction debris and waste must be contained on site each day in a large trash receptacle or disposal bin and removed from site as required to prevent an unsightly build-up of waste materials. All waste and receptacles must be removed promptly at the completion of construction.
- Builders are to ensure that homesites are not accessed except via the designated access roads.
- Builders are required to keep the homesites, abutting streets and all access roads clean and orderly during construction.
- Debris, vegetation material, topsoil or similar materials may not be burned, dumped or buried anywhere on site at any time.
- Builders must ensure that they do not trespass on or disturb any property other than the homesite on which they have been hired to work.



- Erosion control will be the responsibility of the Builder during construction. This will include silt fencing and hay bale installation as may be required to prevent erosion from damaging adjacent properties.
- Disposing of paint, solvents, stains and other toxic items into the storm drainage system will not be permitted on site.
- Changing oil on any equipment or vehicles is not permitted on site.
- Concrete trucks may clean their chutes on the Applicant’s homesite only, and any debris must be promptly removed and disposed of offsite.
- Utility trailers and other construction-related vehicles may be parked on site during the time of construction only, at the risk of the Builder.
- Alcohol, drugs and loud music are prohibited at all times on site.
- The Developer may designate, from time to time in its sole discretion, a specific area on site where Builders will be able to dispose of excess structural fill material.

9.3 CONSTRUCTION OF WATERMARK PHASE TWO NORTHERNMOST HOMES

Seven of the northernmost homes in Phase Two of Watermark have their frontage on the existing Blueridge View municipal roadway. All site work and construction activity, to the extent reasonably possible as determined by the Developer, will be accessed from the south within the Watermark site via roughed-in homesite access roads, along access easements provided by the Developer. No construction access will be permitted via Blueridge View until necessary, toward the latter part of the construction process, as determined by the Developer.

9.4 FIRE DAMAGE

No structure visibly damaged by fire should be left un-repaired for more than six months following the fire’s occurrence.

9.5 LOCK-UP REQUIREMENT

Construction of the home and any accessory buildings must proceed continuously to “lock-up” stage (all exterior portions of the buildings complete, including all exterior wall finish cladding and roof surfaces) within 18 months following the date that preparatory site work for construction actually commences. Thereafter, completion of all remaining construction must proceed in an orderly and timely manner such that an occupancy permit for the home is issued within 24 months following commencement of the initial site work. Fines for non-compliance are set out in Section 6.6.



10.0

AUTHORITY

10.1 DISCRETION

The Developer, the Architectural Design Coordinator and the Landscape Design Coordinator have full discretion in their interpretation of all aspects of the Architectural Design Guidelines. Moreover, the Architectural Design Coordinator and the Landscape Design Coordinator reserve the right, in their sole and unfettered discretion, exercised in a manner satisfactory to the Developer, to grant relaxations concerning any design item or any matter whatsoever that does not meet or varies in any respect from the provisions of the Architectural Design Guidelines. Neither the Architectural Design Coordinator, the Landscape Design Coordinator, nor the Developer will in any way be liable to any Applicant for damages or otherwise as a result of any decisions made or neglected to be made in this regard.

While the Architectural Design Coordinator, the Landscape Design Coordinator and the Developer may enforce all the provisions of the Architectural Design Guidelines, nothing contained in the Architectural Design Guidelines should be interpreted so as to impose any requirement on these parties to enforce any provisions that they choose, in their sole discretion, not to enforce.

All parties who submit plans for approval to the Architectural Design Coordinator or the Landscape Design Coordinator or both agree that neither they nor the respective Applicant, as the case may be, will bring any claim, action or suit against the Developer, the Architectural Design Coordinator or the Landscape Design Coordinator for any reason whatsoever relating to the Architectural Design Guidelines.

10.2 AUTHORITY

The Developer has full authority for the implementation, application, interpretation and enforcement of the Architectural Design Guidelines. For greater certainty and without limiting the generality of the foregoing, such authority includes the selection and management of the Architectural Design Coordinator and the Landscape Design Coordinator. No purchaser of a homesite in Watermark has any authority whatsoever with regard to enforcement of the Architectural Design Guidelines.

10.3 TURNOVER

Until such time as the Developer chooses to turn over full authority to the Watermark HOA for the enforcement of the Architectural Design Guidelines with regard to a particular phase of the Watermark development program, such time being determined solely at the Developer's discretion, the HOA will have no authority regarding or involvement in the oversight or management of any aspect of the Architectural Design Guidelines, nor will the HOA be entitled to require compliance with any provision of the Architectural Design Guidelines. Once the turnover of authority from the Developer to the HOA has occurred with regard to a particular phase of the Watermark development program, all references to the Developer in the Architectural Design Guidelines, with regard only to the phase or phases for which authority has been turned over, will be understood to be referring to the HOA.

10.4 AMENDMENTS

The Developer may from time to time amend any aspect of the Architectural Design Guidelines as it sees fit in its sole and absolute unfettered discretion.

Upon turnover of authority to the HOA, the HOA may amend the Architectural Design Guidelines, with regard only to the phase or phases of the Watermark development program for which authority has been turned over to it by the Developer, in accordance with the procedures set forth in the HOA Articles of Association.

10.5 PROPERTY OWNERS' INFORMATION HANDBOOK

The Architectural Design Guidelines are to be reviewed in conjunction with the Property Owners' Information Handbook dated April 15, 2011, together with any and all amendments thereto. In the event of conflict between the Architectural Design Guidelines and the Property Owners' Information Handbook, the Architectural Design Guidelines will prevail.

11.0

CONTACTS

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